

Committee Date	23.03.2023	
Address	73 Elwill Way Beckenham BR3 6RY	
Application Number	22/04156/FULL6	Officer - Louisa Bruce
Ward	Shortlands And Park Langley	
Proposal	Two storey rear extension with roof alterations to existing garage, loft conversion with rear dormer and juliet balcony, front porch alterations and bay windows to front ground floor	
Applicant	Agent	
Mr Adam Grant	Mr Andrew Sutherland	
73 Elwill Way Beckenham BR3 6RY	Basement Flat 23 Waldram Park Road London SE23 2PW	
Reason for referral to committee	Councillor call in	
Councillor Application	No	

RECOMMENDATION	Application Permitted
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<p>KEY DESIGNATIONS</p> <p>Article 4 Direction Area of Special Residential Character Biggin Hill Safeguarding Area London City Airport Safeguarding Open Space Deficiency Smoke Control SCA 9 Smoke Control SCA 21</p>
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Representation summary	Neighbours were notified of the planning application on 27 th October 2022.	
Total number of responses		4
Number in support		3
Number of objections		1

1. SUMMARY OF KEY REASONS FOR RECOMMENDATION

- The development would not result in a harmful impact on the character and appearance of the area or Area of Special Residential Character.
- The development would not adversely affect the amenities of neighbouring residential properties.

2. LOCATION

- 2.1 The application site lies on the north eastern side of Elwill Way, Beckenham and comprises a detached dwelling set within a large plot. There is a broadly consistent front building line and the area is characterised by residential dwellings set within sizable plots but of a varied built form. The adjacent dwelling at No. 75 is of similar proportions to the existing house in terms of the front elevation, albeit with a higher ridgeline than the host dwelling.
- 2.2 The site lies within the Park Langley Area of Special Residential Character which is characterised by properties built between 1920's and 1950's and has the character of a garden estate given by the quality and appearance of the hedges, walls, fences, and front gardens.
- 2.3 Elwill Way comprises mainly detached dwellings of similar size but differing designs with long rear gardens.

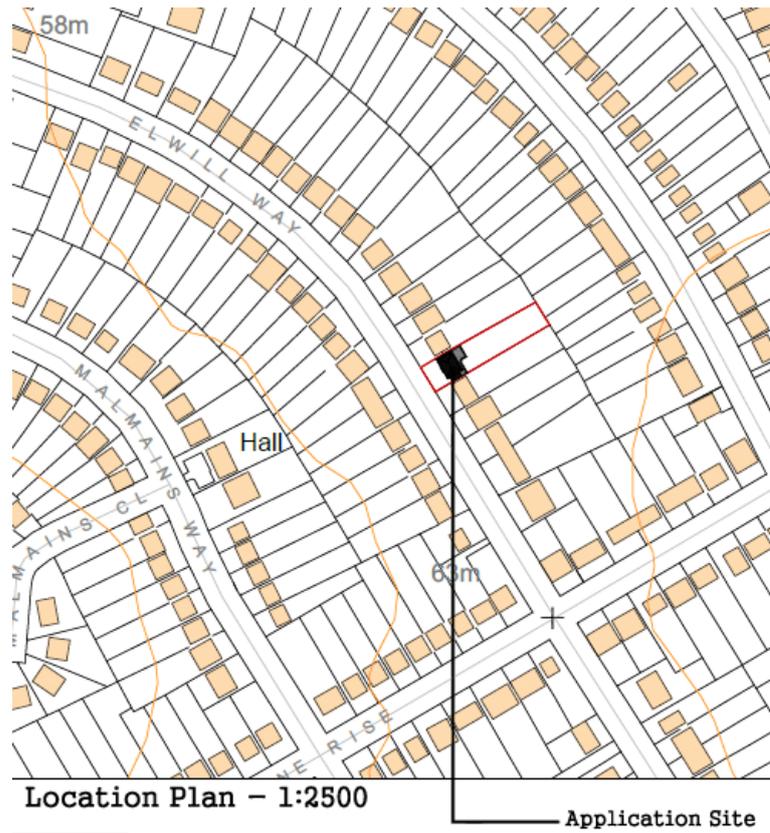


Figure 1: Site Location Plan



Figure 2: Front elevation

3. PROPOSAL

3.1 Planning permission is sought for the following development to the property:

- *Porch improvements/fenestration changes*

3.2 The new porch has been designed with a flat roof and would measure 2.7m in height and would be built flush with the proposed bay windows which are proposed to be added to the ground floor of the property.

- *Two storey rear extension*

3.3 The existing first floor of the property is proposed to be extended to enlarge the two rear bedrooms and bathroom. The depth of the extension would increase by 1.8m from 7.9m to 9.7m. The extension would span for the full width of the property.

- *Roof extensions/conversion to habitable accommodation*

3.4 The applicant seeks to make the existing loft area habitable providing two bedrooms and an area for storage. Externally the ridge height is proposed to be increased by 0.4m from 2.3m to 2.7m. A steeper roof pitch is also proposed creating a crown roof, increasing the pitch from 30 degrees to 45. The roof extension would be tiled to match the existing roof. The existing hipped roof profile would be retained, but the overall height of the building would increase by 0.4m from 7.9m to 8.3m with the eaves height remaining commensurate with the existing dwelling.

3.5 The rear dormer extension would be set within the enlarged rear roof slope, which has an hexagonal shaped dormer extension with two patio style windows/doors each with a Juliet balcony.

- *Single storey rear extension*

3.6 The single storey rear extension would widen the existing flat roofed single storey rear projection to extend across the full ground floor so as to align with the existing flank elevation. The depth would increase by 0.4m from 3.6m to 4m. The height would stay the same measuring 3.2m. The extension would have an overhang which would measure 0.9m. The extension would lie 1.3m away from the shared boundary with No.75.

- *Elevational alterations*

3.7 The roof of the existing garage, located to the side of the property, is proposed to be altered but the height would remain the same measuring 3.2m. New windows are proposed to be installed in the newly extended first floor rear extension.



Figure 3: Existing Front Elevation



Figure 4: Existing Rear Elevation



Figure 5: Existing Ground Floor Plan

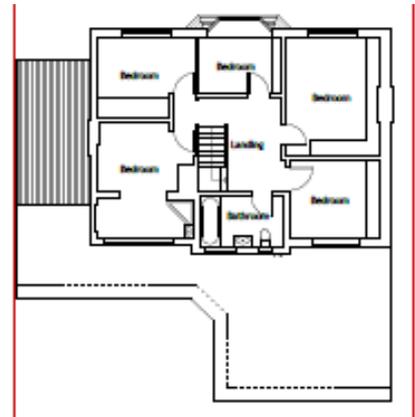


Figure 6: Existing First Floor Plan



Figure 7: Proposed Front Elevation



Figure 8: Proposed Rear Elevation

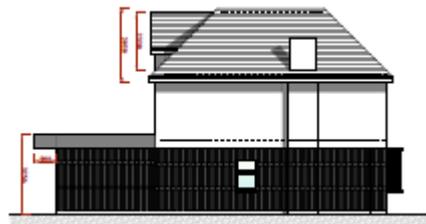
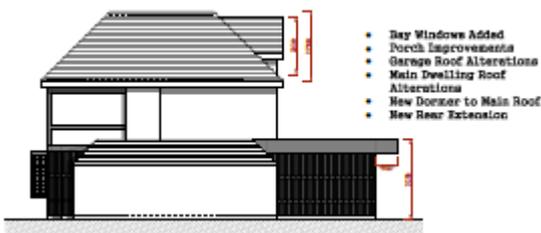


Figure 9: Proposed Right Facing Elevation



Figure 10: Proposed Left Facing Elevation

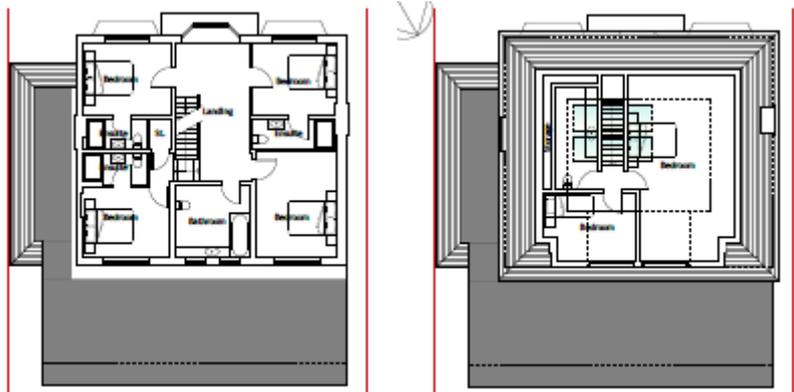


Figure 11: Proposed Floor Plans

3.8 The application is accompanied by a Planning Statement and is a resubmission of a similar application that was refused on the 12th November 2021 under planning application reference: 21/01466/FULL6.



Figure 12: Refused 21/01466/FULL6 - Front Elevation

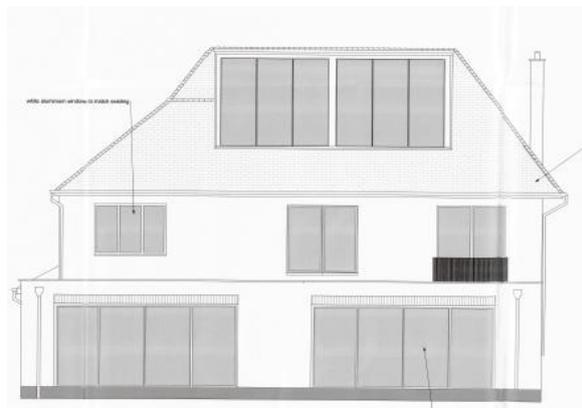
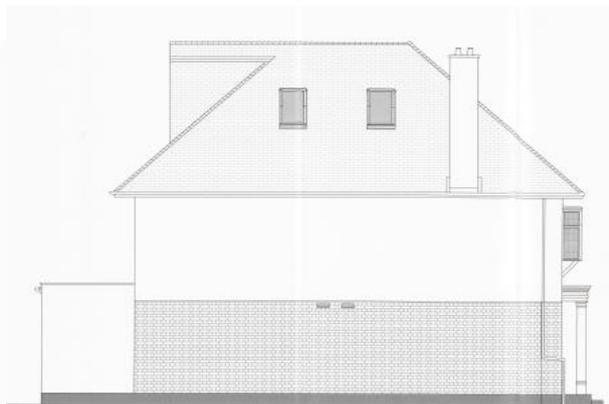
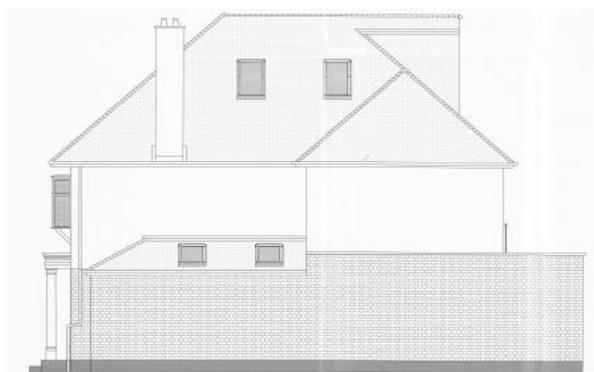


Figure 13: Refused 21/01466/FULL6 - Rear Elevation



**Figure 14: Refused 21/01466/FULL6
- Right Facing Elevation**

**Figure 15: Refused 21/01466/FULL6
- Left Facing Elevation**

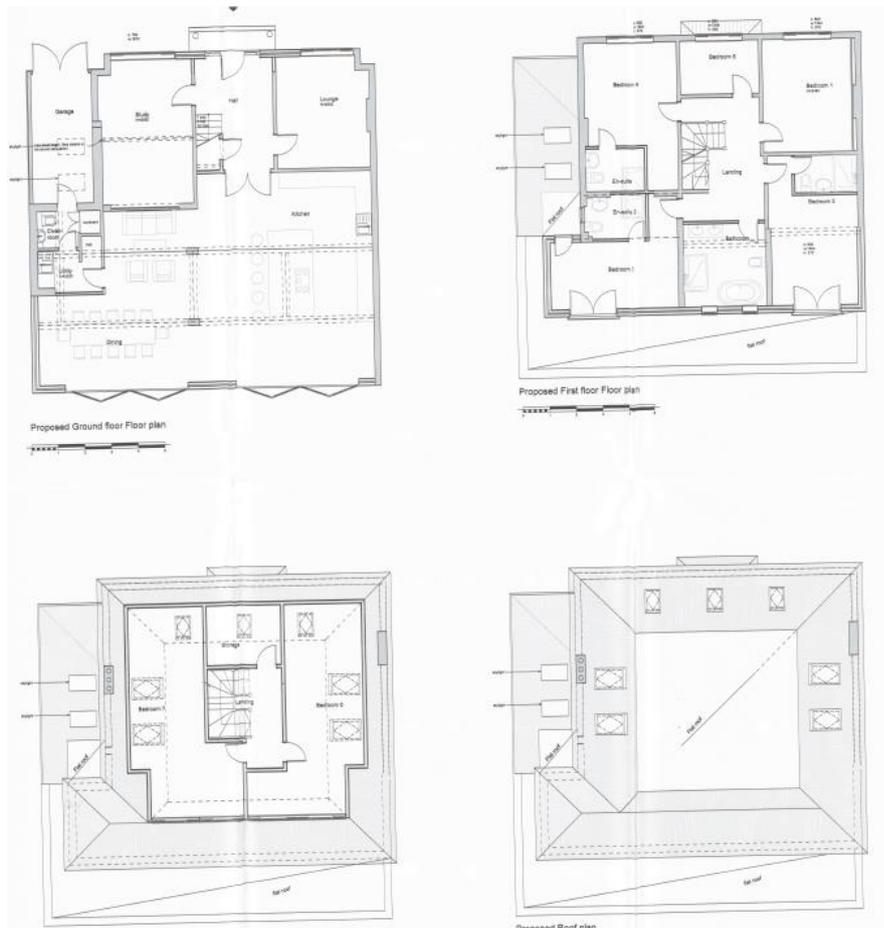


Figure 16: Refused 21/01466/FULL6 – Floor Plans

4. RELEVANT PLANNING HISTORY

4.1 Under ref: 21/01466/FULL6 planning permission was refused for increase to existing ridge height and installation of three front rooflights, new roof to existing garage and installation of two skylights, new porch, two storey side and rear extension, installation of four side rooflight to roofslope, loft conversion, rear dormer extension, demolition of existing conservatory and construction of a new single storey rear extension with flat roof. The reasons for refusal read as follows:

1. *The proposed side and rear extensions by reason of their bulk, scale and massing and proximity to the boundary with No.75 would appear disproportionate, cramped and out of character with the host dwelling and the prevailing pattern of development thereby contrary to Policy D4 of the London Plan and Policies 6, 8, 37 and 44 of the Bromley Local Plan, and Supplementary Planning Guidance.*

2. *The proposed two storey side and rear extensions due to their bulk, scale and mass and close proximity to the boundary with No.75 would result in an overbearing and intrusive form of development when viewed from the rear garden of No.75, contrary to Policy D4 of the London Plan and Policies 6, 8, 37 and 44 of the Bromley Local Plan, and Supplementary Planning Guidance.*
3. *The proposed roof alterations as a result of the cumulative changes; increase in roof height, rear dormer and awkward and unsymmetrical design and would appear out of context with the host dwelling and wider Area of Special Residential Character contrary to Policy D4 of the London Plan and Policies 6, 37 and 44 of the Bromley Local Plan, and Supplementary Planning Guidance.*

Under ref: 18/03246/FULL6 planning permission was granted for a single storey rear infill extension, loft conversion including raising of the ridge height, three front rooflights, two rear dormers and a juliet balcony.

5. CONSULTATION SUMMARY

A) Statutory

None sought.

B) Local Groups

No comments received.

C) Adjoining Occupiers – addressed in neighbouring amenity section.

Nearby owners/occupiers were notified of the application and four letters of representation was received which can be summarised as follows:

Objection

- We believe that the drawings of the existing elevations of the building are incorrect in that the existing roof height is considerably less than that shown in the drawing of the current building. We believe, therefore, that the drawings understate the proposed increase of the new roof ridge height significantly. This is important because the increased ridge height was a consideration in the previous application being declined making it appear out of keeping with neighbouring properties and incongruous with the host property. We would like to see corrected drawings in order to fully understand the proposal and believe that no planning approval should be given without correct drawings of the existing and proposed new building.

- Whilst many of the features are better than the previous proposal we object strongly to the large second floor juliet balcony windows in the very large dormer. They are extremely large and out of keeping with the rest of the property and for the area, given that we live in an area of special residential interest. We believe it is detrimental to the character and appearance of not only the house being developed but the neighbouring houses because they are so dominant. These very large windows, together with an increased ridge height, will give panoramic views over our garden and, therefore, affect our privacy. Smaller dormer windows would have a much less obtrusive view and would be more in keeping with the house and the area.
- Unlike the previous approved application of 2018, the new application also proposes to increase the size of the ground floor of the existing extension by approximately 0.5 metre. This is surprising given that the current application states that the existing ground floor is already spacious. The current application does not refer to the increase in size of the ground floor rear extension which is only apparent from the drawings. It is not clear how much deeper the new building will be but we object to it going out further into the garden as currently the existing extension is in line with the rear wall of our property. Any further out and it will impact on the view and light of our patio area.

Support

- Fully support the application, As a neighbour I recently had a large extension and it has totally improved our life style. The new insulation and modern building regulations really do a lot to improve and update these old houses.

6. POLICIES AND GUIDANCE

National Policy Framework (2021)

NPPG

The London Plan

Policy D4 Delivering good design

Policy D5 Inclusive design

Bromley Local Plan (2019)

6 Residential Extensions

37 General Design of Development

44 Areas of Special Residential Character

Supplementary Planning Guidance

SPG1 - General Design Principles

SPG2 - Residential Design Guidance

7. ASSESSMENT

7.1 Resubmission

7.1.1 The application is a resubmission of two previous (similar) applications as detailed below:

7.1.2 Under planning application ref: 21/01466/FULL6 planning permission was refused on the 12th November 2021 for increase to existing ridge height and installation of three front rooflights, new roof to existing garage and installation of two skylights, new porch, two storey side and rear extension, installation of four side rooflight to roofslope, loft conversion, rear dormer extension, demolition of existing conservatory and construction of a new single storey rear extension with flat roof.

7.1.3 Under planning application reference: 18/03246/FULL6 planning permission was granted on the 10th October 2018 for a single storey rear infill extension, loft conversion including raising of the ridge height, three front rooflights, two rear dormers and a Juliet balcony.

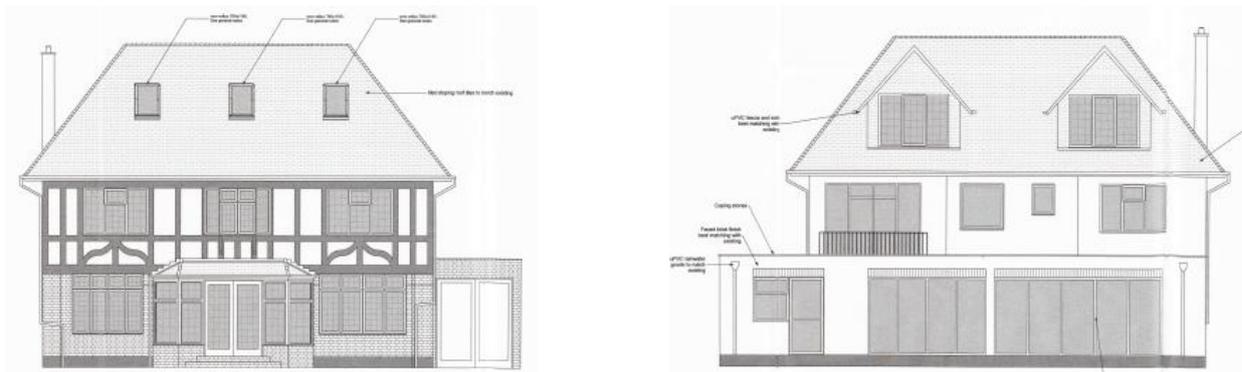


Figure 17 - 18/03246/FULL6 – Approved Front and Rear Elevations



Figure 18 - 18/03246/FULL6 – Approved Floor Plans

7.1.4 The current application makes changes to the roof height (lessening the overall increase in height) and altering the design and removes all of the previous rooflights from the front and flank elevations. The rear dormer extension is now shown as an inner dormer to the rear roofslope with a hexagonal roof design and two Juliet balcony. The previous Juliet balcony to the first floor rear elevation has now been removed. The two storey rear extension has been reduced in width. The garage/utility room roof has been increased in depth as has the depth of the single storey rear extension which now also includes an overhang design.

7.2 Design and Scale - Acceptable

7.2.1 Design is a key consideration in the planning process. Good design is an important aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people. The NPPF states that it is important to plan positively for the achievement of high quality and inclusive design for all development, including individual buildings, public and private spaces and wider area development schemes.

7.2.2 London Plan and Bromley Local Plan policies further reinforce the principles of the NPPF setting out a clear rationale for high quality design.

7.2.3 Policies 6 and 37 of the Bromley Local Plan and the Council's Supplementary design guidance seek to ensure that new development, including residential extensions are of a high quality design that respect the scale and form of the host dwelling and are compatible with surrounding development.

7.2.4 In addition, Policy 44 which relates specifically to Areas of Special Residential Character states that development proposed in areas designated as Areas of Special Residential Character (ASRCs) should respect, enhance and strengthen their special and distinctive qualities.

7.2.5 The existing five bedroom property would be expanded to the ground floor rear of the property as well as the first floor and loft area.

Porch

7.2.6 The height of the new porch would match the proposed height of the front bay window. Given that the proposal would be some 9m away from the main road and there are various style and designs of houses and porch design in the area, it is considered the proposal, on balance, would be in keeping with the host dwelling and the area in general and comply with policies 37 and 44 of the Bromley Local Plan.

Two storey rear extension

7.2.7 The proposed two storey rear extension will be sited to the rear of the property and would not be visible from Elwill Way. The proposed first floor will be situated 1.3m from the shared boundary with No.75 Elwill Way. The cumulative added bulk, scale and mass to be added to the rear of the property is considered to be commensurate

with the size of the property adding a measured amount of development to the first and second floor of the property which is detached.

Roof alterations

7.2.8 The 2018 planning application allowed for the ridge height to be increased by 1.3m. The current application seeks to increase the ridge by 0.4m. Elwill Way is characterised by detached two storey dwellings, but this broad character is formed of a variety of dwelling styles and there is no precise uniformity in the heights and roof designs and profiles of the houses within this section of the street. The additional raising of the ridge height and new crown roof style is not considered to look out of plan when viewed as part of the streetscene.

7.2.9 The rear inner dormer extension is an improvement in design terms following the previously refused application. Whilst the floor to ceilings windows with Juliet balcony would be prominent it would not be considered so detrimental to warrant refusal of the application.

Single storey rear extension

7.2.10 The single storey rear extension would square off the area of garden (closest to the boundary with No.75) and increase the depth of the extension from 3.6m to 4m. The increase in depth is considered to be acceptable and the height would remain the same as 3.2m. The new overhang depth at 0.9m is also considered acceptable and commensurate in being a subservient addition to the property.

Elevational alterations

7.2.11 The proposed change to the roof of the existing garage is considered acceptable and would not look significantly different or out of character when viewed in the context of the host property or wider streetscene. This element of the proposal is considered to comply with policies 37 and 44 of the Bromley Local Plan.

7.3 Neighbouring amenity - Acceptable

7.3.1 Policy 37 of the Bromley Local Plan seeks to protect existing residential occupiers from inappropriate development. Issues to consider are the impact of a development proposal upon neighbouring properties by way of overshadowing, loss of light, overbearing impact, overlooking, loss of privacy and general noise and disturbance.

7.3.2 The two immediate neighbours to the property are No.71 and No.75 Elwill Way. Objections to the proposal have been received.

7.3.3 With regards to No. 71, the proposed rear dormer windows are not considered to significantly overlook the rear gardens of either neighbour or cause any significant overlooking beyond that already experienced from the first floor windows. The plans submitted are considered to be an accurate reflection of the height of the building.

7.3.4 With regards to No.75, the single storey rear extension would be off-set from the boundary by 1.3m and therefore provide a degree of separation between the two properties. The additional bulk, scale and mass that is proposed to be added to the rear of the property is considered subservient and would not be considered to be disproportionate in the context of the existing dwelling.

8.0 Conclusion

8.1.1 Having had regard to the above it is considered that the proposed development as set out above would be subservient and would be in keeping with the character and appearance of the host dwelling and the wider Park Langley Area of Special Residential Character.

8.1.2 Background papers referred to during production of this report comprise all correspondence on the files set out in the Planning History section above, excluding exempt information.

RECOMMENDATION: PERMISSION

Subject to the following conditions:

- 1. Time limit**
- 2. Materials in accordance with plans**
- 3. Compliance with plans**
- 4. No use of flat roof**

and delegated authority be given to the Assistant Director: Planning & Building Control to make variations to the conditions and to add any other planning condition(s) as considered necessary.